



## TOWN OF VIEW ROYAL

### DEVELOPMENT PERMIT No. 2019/03

#### THIS DEVELOPMENT PERMIT MADE IN TRIPLICATE

This permit is issued pursuant to Division 7 of the *Local Government Act* and the Town of View Royal Official Community Plan. **It is not a building permit.** If the development authorized by the permit requires a building permit, the holder of the development permit must obtain a building permit from the Town prior to commencing construction. **This permit does NOT relieve the owner from complying with all Bylaws of the Town of View Royal, except as specifically varied or supplemented by this permit.**

Registered Owner: 1138049 BC Ltd., Inc. No. BC1138049

Subject Property: Lot 1, Sections 97 & 98, Esquimalt District, Plan VIP64516

PID: 023-696-613

Zoning: CD-23: Comprehensive Development (Thetis Lake)

DP Areas: Official Community Plan Bylaw No. 811, 2011

- "Mixed Residential"
- "Sensitive Terrestrial Ecosystems"

1. The owner of the land described above is authorized to develop the land in accordance with this permit, the attached Terms and Conditions, and any plans, specifications, or other material referred to in the permit or the Terms and Conditions whether or not they are attached to the permit.
2. The subject property is proposed for subdivision. This permit allows for the construction of two apartment buildings on Proposed Lot B of Plan EPP92346 as per the schedules forming part of this permit.
3. If the holder of this permit does not substantially start the construction authorized by the permit within **24 months** of the date the permit was approved, this permit lapses.
4. This permit includes the following **VARIANCES** to regulations within Zoning Bylaw No. 900, 2014:
  - a. The number of building storeys as specified in Section 12.23.3 of Zoning Bylaw 900, 2014 is varied to from five to six.
  - b. The amount of impermeable surface coverage as specified in Section 12.23.3 of Zoning Bylaw 900, 2014 is varied to from 50% to 72%.
  - c. The maximum height of retaining walls as specified in Section 12.23.3 of Zoning Bylaw 900, 2014 is varied from 1.2 to 4.1m.

5. This permit includes the following **TERMS AND CONDITIONS**:

- a. *Establish and maintain a FireSmart Priority Zone 0-10 m around existing and any new structures bordering continuous forest and along the western and eastern boundaries of the subject property, next to Thetis Lake Regional Park.*
- b. *Favour widely spaced (> 3 m crown separation), slow-growing deciduous and/or broad-leaved native trees (i.e., arbutus), as these types of trees typically are not as combustible as coniferous species.*
- c. *Limit the use of any coniferous hedges and wooden fences around structures along forested boundaries, as these features could act as a conduit for fire. Low wooden fences are acceptable, providing there is a separation of at least 3 m between the fence and any structure.*
- d. *Develop a FireSmart landscaping plan by incorporating fire-resistive native shrubs and groundcover in combination with fire-resistant landscape features (mowed lawns, landscape tiles, water features). See FireSmart Landscaping on Southeastern Vancouver Island (brochure), Strathcona Forestry Consulting.*
- e. *Regularly remove invasive plants (broom, thistle, etc.). Dried broom is very combustible under certain conditions (i.e., warm dry summers).*
- f. *Any areas of soil disturbance should be promptly re-vegetated with approved landscaping materials and/or native plant species to prevent encroachment from invasive plant species.*
- g. *Consult with Capital Regional District Parks regarding fuel management treatment along mutual boundaries.*
- h. *Use fire-retardant roof covering assemblies rated Class A, B, or C (i.e., metal, tile, ULC-rated asphalt) and feature non-combustible siding materials (i.e. stucco, metal siding, brick, cement shingles or cementitious materials, poured concrete, or ULC-rated wood siding) on new residences and outbuildings.*
- i. *Follow FireSmart guidelines for design, construction, and maintenance of window and door glazing, eaves and vents, and decking*
- j. *Ensure structures are equipped with working smoke alarm(s).*
- k. *Strictly enforce campfire bans during extreme fire weather.*
- l. *Ensure any development of new access routes complies with local government standards and follows the Geometric Design Guide for Canadian Roads ([www.tac-atc](http://www.tac-atc)).*
- m. *Ensure street addresses are clearly evident. Letters, numbers, and symbols should be at least 10 cm high, with a 12 mm stroke, contrast with the background colour of the sign, and be reflective.*
- n. *Ensure fire turnarounds are sufficiently wide to accommodate emergency vehicles.*
- o. *Ensure all structures are mapped on VRFR "pre-org" (fire planning) maps.*
- p. *Facilitate an emergency access plan with Capital Regional District Parks for pedestrian egress in the case of emergency.*
- q. *Follow standard Fire Underwriters Survey and Town of View Royal specifications for water lines and type and spacing of fire hydrants.*
- r. *Conduct a follow-up assessment in building permit process to ensure appropriate mitigation measures have been implemented.*
- s. *The concrete blocks used to form retaining walls along the frontage of Proposed Lot B of Plan EPP92346 shall be surfaced with textured imprints.*
- t. *A security deposit of \$63,000 shall be provided for onsite landscaping prior to building permit issuance. Upon satisfactory installation of the landscaping as determined by the Town, 10% of the deposit will be retained for a three-year period for the establishment and survival of the plantings.*

- u. *The applicant is to work with the Capital Regional District to improve screening of the retaining wall.*
- v. *The percentage of impermeable surface on Lots A and B combined is not to exceed 50%.*

6. Development of the land must be in substantial compliance with:

- Schedule 1: Architectural Plans - Abele Architecture, May 3, 2019 (25 pages)
- Schedule 2: Outland Landscape Architecture April 11, 2019 (2 pages)
- Schedule 3: Civil Servicing and Grading Plan – Associated Engineering, March 1, 2019 (3 pages)
- Schedule 4: Update to Wildland-Urban Interface Fire Hazard Assessment – Thetis Lake Trailer Park and Campground - Strathcona Forestry Consulting, April 4, 2019 (22 pages)

**Authorizing resolution of Council passed on the 21<sup>st</sup> day of May 2019.**

**THE CORPORATE SEAL OF THE  
TOWN OF VIEW ROYAL** was hereunto  
affixed in the presence of:

  
Clerk

)  
)  
)  
)  
)  
)  
)  
)

on the 4<sup>th</sup> day of June 2019





APROX LOCATION OF BUILDINGS ON SITE



THIS IS AN ARTIST'S RENDERING BASED ON CURRENT DEVELOPMENT CONCEPTS. WHICH ARE SUBJECT TO CHANGE WITHOUT NOTICE. NO GUARANTEE IS MADE THAT THE FACILITIES DEPICTED WILL BE BUILT, OR IF BUILT, WILL BE OF THE SAME TYPE, SIZE, OR NATURE AS DEPICTED.

# THETIS LAKE APTS.

1938 West Park Lane, View Royal, BC  
ISSUED FOR DEVELOPMENT PERMIT

**ABELE ARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT AIBC, T:604.682.6818



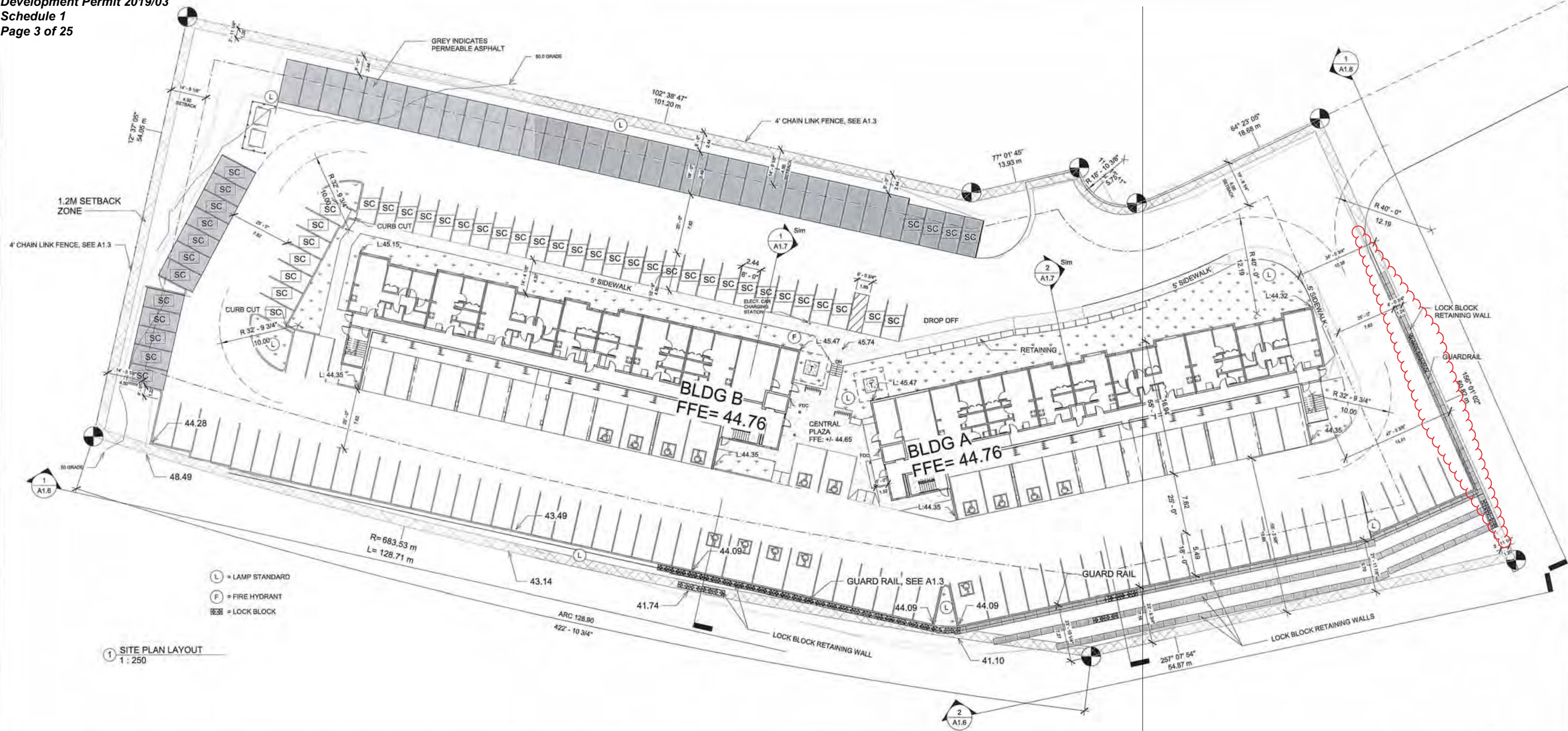
 **SEYMOUR PACIFIC**  
DEVELOPMENTS LTD.

103 St Anns, Campbell River, B.C.  
(T)250.286.8045 (F)250.286.8046  
[www.seymourpacific.ca](http://www.seymourpacific.ca)









1 SITE PLAN LAYOUT  
1: 250

PROJECT INFORMATION		
PROJECT DESCRIPTION THIS PROJECT CONSISTS OF 2-MULTI-FAMILY RESIDENTIAL BUILDINGS WITH A 1/2 LEVEL OF COVERED PARKING EACH		
BUILDING CODE THE APPLICABLE BUILDING CODE IS THE BCBC 2018, INCLUDING ALL ADDENDA		
PROJECT DATA		
MUNICIPAL ADDRESS	1938 WEST PARK LANE, VIEW ROYAL, BC	
LEGAL DESCRIPTION	TO BE SUBDIVIDED FROM: LOT 1, SECTIONS 97 & 98, ESQUIMALT DISTRICT PLAN VIP 64516	
ZONING	CD-23 COMPREHENSIVE DEVELOPMENT ZONE - THETIS LAKE	
MUNICIPALITY	TOWN OF VIEW ROYAL	
LOT AREA	REQUIRED/EXISTING	PROPOSED
	TOTAL LOT AREA: 51,935m <sup>2</sup> (12.8 ACRES / 5.2HA)	APARTMENT LOT AREA: 100,620 SF=9,347m <sup>2</sup> (2.3 ACRES / 0.93HA)
LOT DENSITY	TOTAL NUMBER OF RESIDENTIAL UNITS=350	152 RESIDENTIAL UNITS
FLOOR SPACE RATIO	FSR FOR RESIDENTIAL APARTMENT USE = 1.5:1	57,831 SF/APARTMENTX2 =1.15:1 100,620 SF LOT AREA
LOT COVERAGE	MAXIMUM = 50%	9,638.4 SF/APARTMENTX2 = 19,277 SF = 20% LOT COVERAGE
SETBACKS	IMPERMEABLE SURFACE COVERAGE = 50%	IMPERMEABLE SURFACE COVERAGE = 72%
	REAR SETBACK = 6.0M ( 19'-8")	6.0M ( 19'-8")
	SIDE SETBACK = 4.5M ( 14'-10")	4.5M ( 14'-10")
	THETIS LAKE, SETBACK = 10.0M ( 32'-10") NORTH EAST TRANS CANADA HWY, SETBACK = 10.0M ( 32'-10") SOUTH	10.0M ( 32'-10") 10.0M ( 32'-10")

BUILDINGS	BUILDING HEIGHT	PERMITTED		PROPOSED		
	SEE A0.5	24.0M; 5 STOREYS		BUILDING A : 21.15M / 6 STOREYS BUILDING B : 18.29M / 6 STOREYS		
	UNIT BREAKDOWN		BUILDING A	BUILDING B	TOTAL	
		STUDIO	16	16	32	
		1 BED / 1 BATH	28	28	56	
1 BED / 1 BATH BARRIER FREE		10	10	20		
2 BED /1 BATH		22	22	44		
TOTAL		76	76	152		
PARKING	REQUIRED PARKING	STUDIO - 1 BEDROOM=1 STALLS / DU		108 x 1 = 108 PARKING STALLS		
		2 BEDROOM =1.5 STALLS / DU		44 x 1.5 = 66 PARKING STALLS		
		TOTAL		174 PARKING STALLS		
		STANDARD CAR STALL : 2.6M x 5.5M (8'-6" x 18'-0") 2.6M x 5.0M (8'-6" x 15'-0") IF MORE THAN 100 PARKING STALLS W/ EXTRA LANDSCAPING IN PARKING AREA		PROPOSED PARKING		
				SURFACE	BLDG.	
				107	89	18 2.9Mx5.5M
		SMALL CAR STALL: 2.4M x 4.8M (8'-0" x 15'-0") 30% OF TOTAL STALLS		52	52	
	ELECTRICAL VEHICLE CHARGING STATION	BARRIER FREE STALLS: 3.9M x 5.5M (12'-0" x 18'-0")		15	7	6
	1 STATION PROVIDED/2 STALLS			174	140	26
	BIKE STORAGE	REQUIRED		PROVIDED		
	CLASS 1: 1 PER DWELLING UNIT = 152		152			
	CLASS 2: 2 RACKS		2			

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www.seymourpacific.ca

SITE MAP:

A

B

PROJECT STATUS:

RE ISSUED FOR DEV PERMIT

Revision Schedule

No.	Description	Revision Date
B	ISSUED FOR DEV PERMIT	02/19/2019
C	RE ISSUED FOR DEV PERMIT	04/12/2019
A1.8	NEW PERSPECTIVE SHEET	04/22/2019
A1.9	REVISED SIDING FLOORS 5 & 6 BY MAIN ENTRIES	05/03/2019
	NEW SECTION SHEET A1.8- PERSPECTIVE REVISED A1.9	

SEAL: ABLE ARCHITECTURE

THOMAS ABLE ARCHITECT ASSOCIATES LTD.

REGISTERED ARCHITECT  
BRITISH COLUMBIA  
MAY 03 2019

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME:  
THETIS LAKE APARTMENTS

PROJECT NUMBER:

ADDRESS:  
W. PARK LN  
VIEW ROYAL, BC

DRAWING TITLE:  
SITE PLAN

DRAWN BY: PG  
CHECKED BY: KDM  
DATE: 04/12/2019  
SCALE: As indicated  
DRAWING #: REV #:

A1.0

C

RE ISSUED FOR DEVELOPMENT PERMIT





PROJECT STATUS:  
RE ISSUED FOR DEV PERMIT

[illegible]

SEAL: **ABELE ARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT AIBC, T:604.682.6818

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PROJECT NAME:  
THETIS LAKE APARTMENTS

PROJECT NUMBER:	-
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ADDRESS:  
W. PARK LN  
VIEW ROYAL, BC

DRAWING TITLE:

GRADE CALCULATION

DRAWN BY:	PG
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DATE:	04/12/2019
SCALE:	1 : 250

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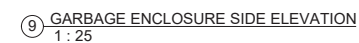
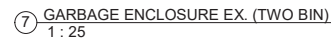
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REV #:

C







SITE MAP:

A
B

PROJECT STATUS:

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SEAL: **ABELE ARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT AIBC, T:604.682.6811

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PROJECT NAME:  
THETIS LAKE APARTMENTS

PROJECT NUMBER
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ADDRESS:  
W. PARK LN  
VIEW ROYAL, BC

DRAWING TITLE:

## SITE ACCESSORIES

DRAWN BY: PG

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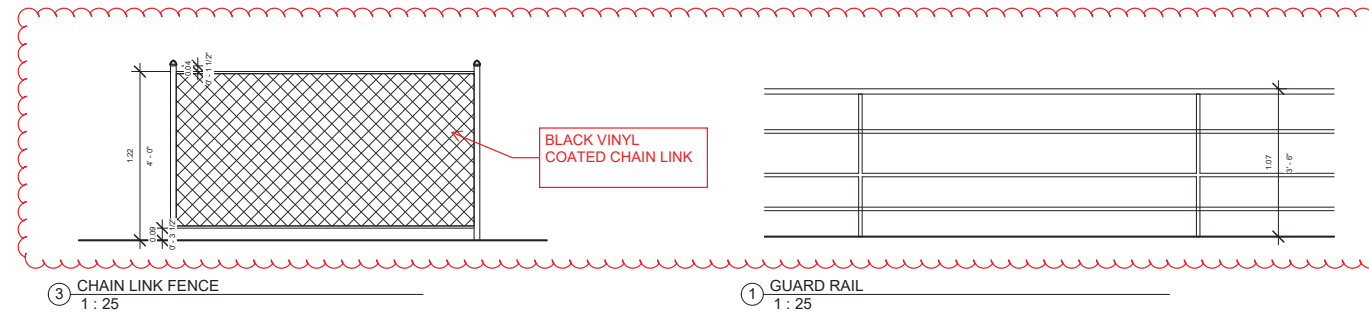
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③ CHAIN LINK FENCE  
1 : 25

① GUARD RAIL  
1 : 25









① BLDG A - VIEW FROM NORTH EAST  
1:1

**SITE MAP:**

PROJECT STATUS:

RE ISSUED FOR DEV PERMIT

[illegible]

SEAL: **ABELE ARCHITECTURE**  
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PROJECT NAME:
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## THETIS LAKE APARTMENTS

PROJECT NUMBER:

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W. PARK LN  
VIEW ROYAL, BC

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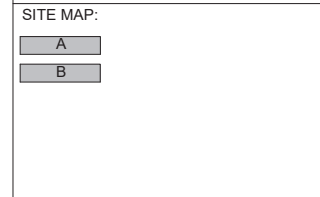
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EV #:

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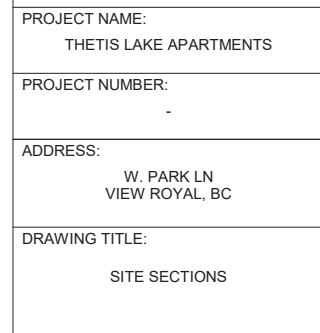
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<u>A1.6</u>	
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**SITE MAP:**

A  
B

PROJECT STATUS:

RE ISSUED FOR DEV PERMIT

### Revision Schedule

[illegible]

SEAL: **ABELE ARCHITECTURE**  
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THETIS LAKE APARTMENTS

PROJECT NUMBER:	
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ADDRESS:

W. PARK LN  
VIEW ROYAL, BC

DRAWING TITLE:

SITE SECTIONS 2

DRAWN BY:	PG
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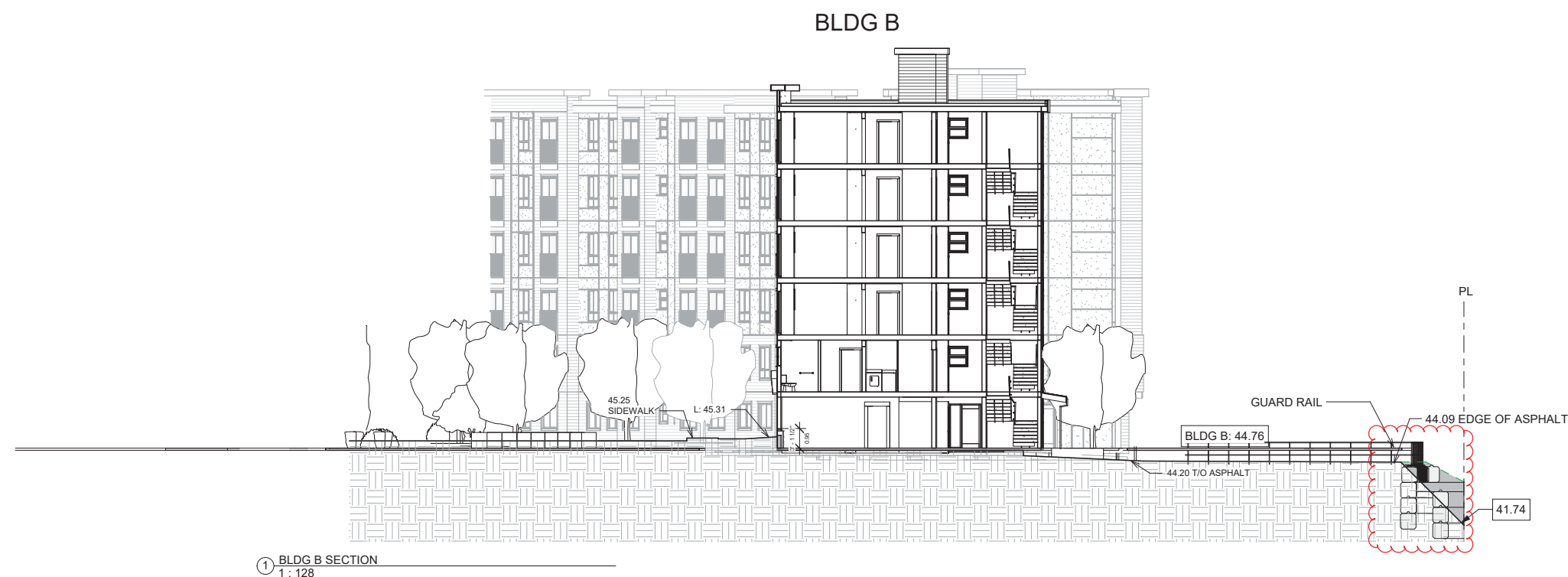
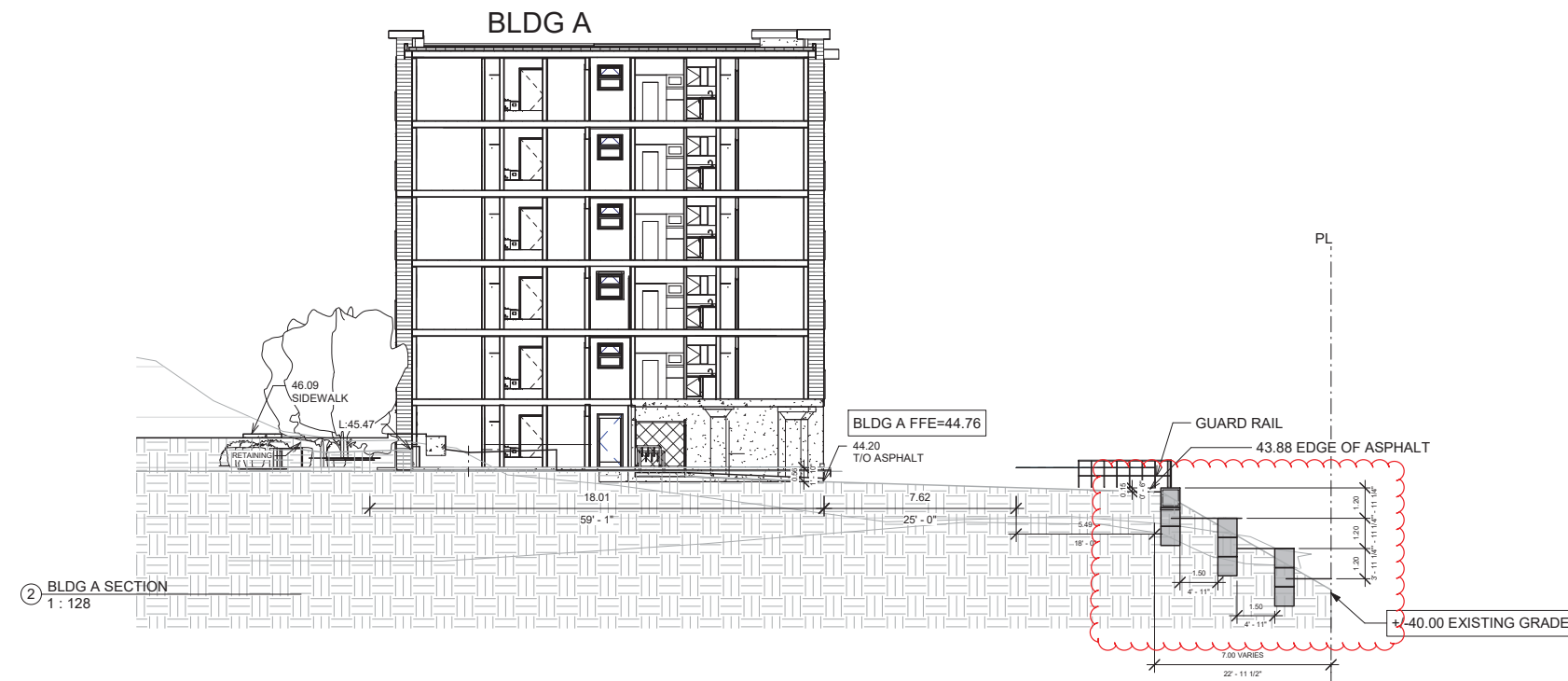
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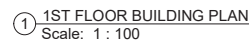
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**SITE MAP:**



PROJECT STATUS:

RE ISSUED FOR DEVELOPMENT  
PERMIT

[illegible]

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PROJECT NAME:  
THETIS LAKE APARTMENTS

PROJECT NUMBER:
-----------------

ADDRESS:  
1938 WEST PARK LANE  
VIEW ROYAL, BC

DRAWING TITLE:

BUILDING A FIRST FLOOR PLAN

\_\_\_\_\_

DRAWN BY:	PD
CHECKED BY:	RE

CHECKED BY:	RI
DATE:	04/12/2019
SCALE:	1 : 100

DRAWING #:	REV #:
	△

<u>A2.4</u>	
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RE ISSUED FOR DEVELOPMENT PERMIT



SITE MAP:  
A

PROJECT STATUS:  
RE ISSUED FOR DEVELOPMENT  
PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR DEV PERMIT	02/22/2019
C	RE ISSUED FOR DEV PERMIT	04/12/2019

SEAL: **ABELE ARCHITECTURE**  
THOMAS C. ABLE, ARCHITECT ABC, T. 604.882.0818

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PROJECT NAME:  
THETIS LAKE APARTMENTS

PROJECT NUMBER:  
-

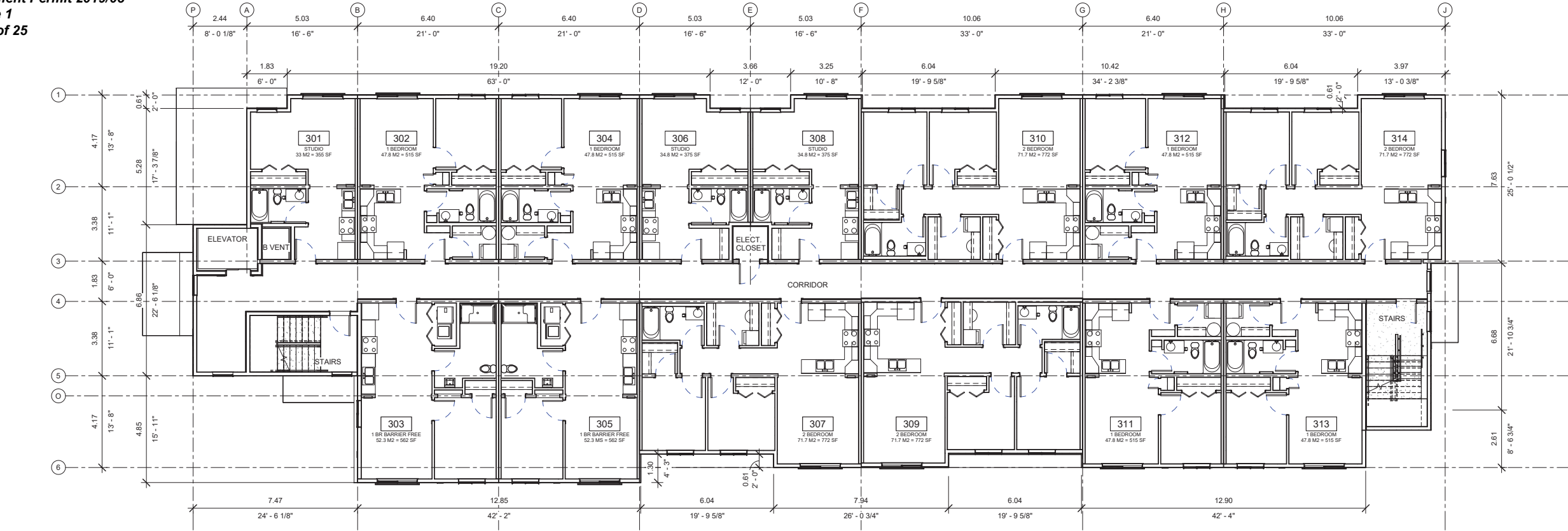
ADDRESS:  
1938 WEST PARK LANE  
VIEW ROYAL, BC

DRAWING TITLE:  
BUILDING A SECOND FLOOR &  
THIRD FLOOR PLAN

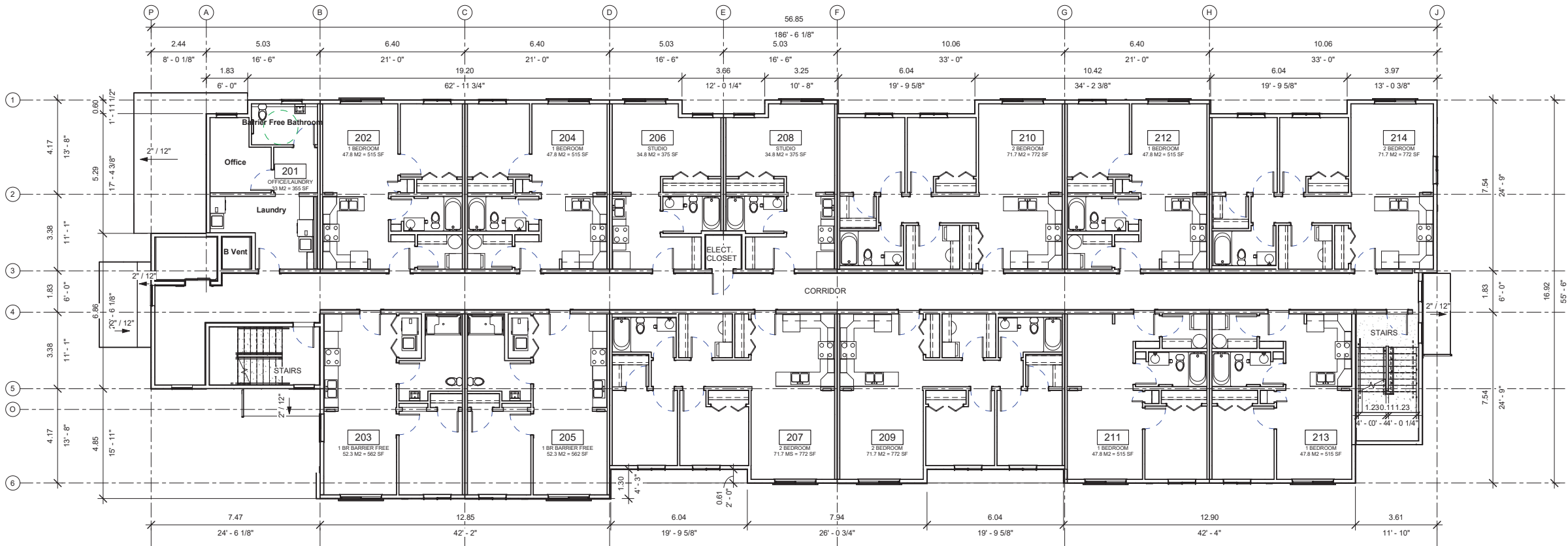
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CHECKED BY: KDM  
DATE: 04/12/2019  
SCALE: 1 : 100  
DRAWING #: **A2.5**  
REV #:

C

② 3RD FLOOR BUILDING PLAN  
Scale: 1 : 100



① 2ND FLOOR BUILDING PLAN  
Scale: 1 : 100



FLOOR AREA :  
9,546 SQ FT = 887m<sup>2</sup>

RE ISSUED FOR DEVELOPMENT PERMIT



OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE

303-590 KLO Road  
Kelowna, BC V1Y 7S2  
T (250) 868-9270  
www.outlanddesign.ca



PROJECT TITLE

THETIS LAKE APARTMENTS  
1938 WEST PARK LANE

View Royal, BC

CLIENT TITLE

LAYOUT PLAN

NO.	DESCRIPTION	DATE
1	PRELIMINARY	2019-03-15
2	REVISED	2019-03-15
3	REVISED	2019-03-15
4	REVISED	2019-03-15
5	REVISED	2019-03-15

DESIGNED BY	SKETCHED BY
DRAWN BY	CHECKED BY
DATE	DATE
SCALE	SCALE
PROJECT NO.	PROJECT NO.
CLIENT NAME	CLIENT NAME
CLIENT ADDRESS	CLIENT ADDRESS
CLIENT PHONE	CLIENT PHONE
CLIENT EMAIL	CLIENT EMAIL

DATE: 2019-03-15

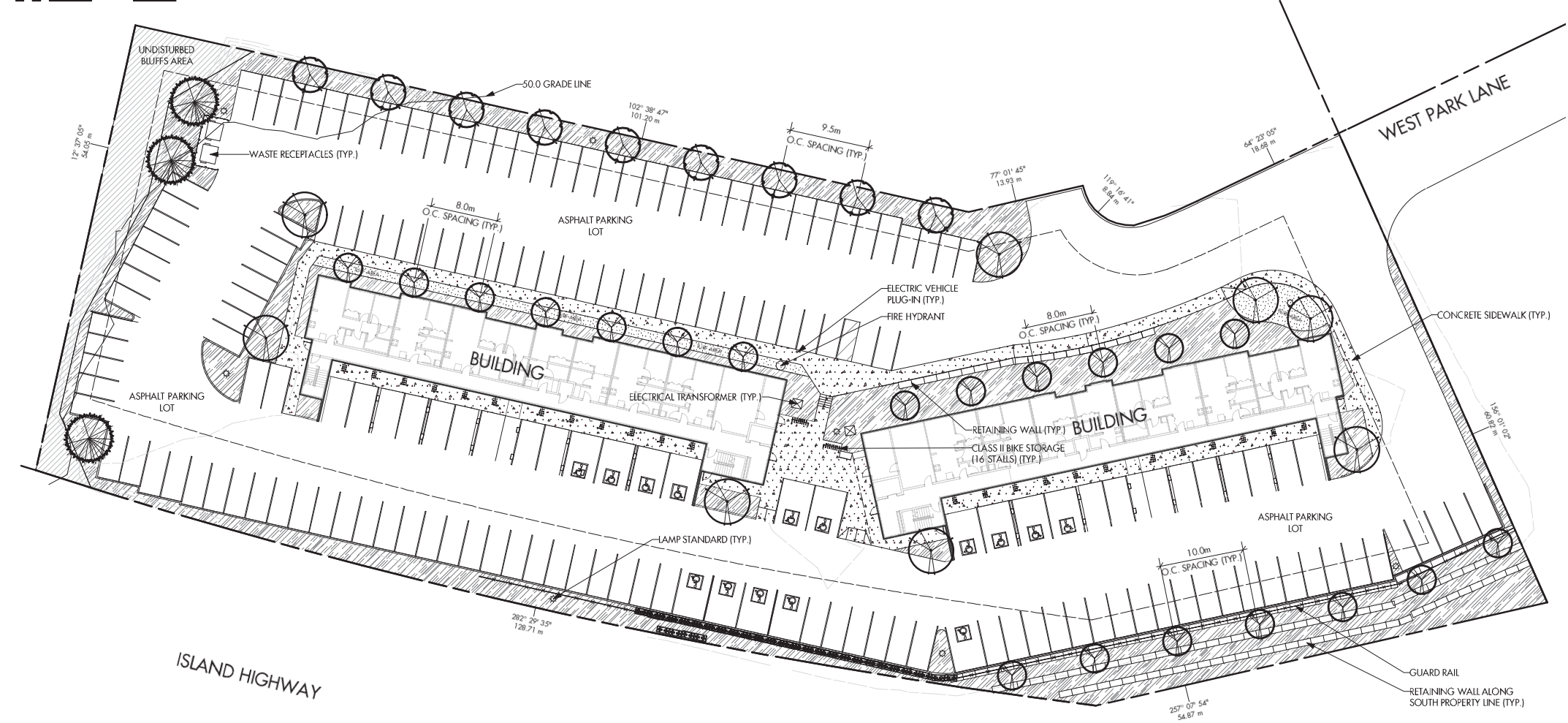
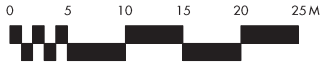


DATE: 2019-03-15

L1/2

ISSUED FOR REVIEW ONLY

This drawing is issued for review only. It is not to be used for construction or other purposes without the written consent of Outland Design.



NOTES

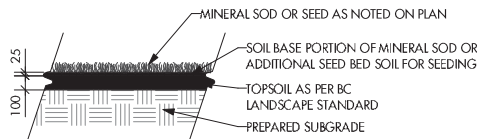
1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN NURSERY LANDSCAPE ASSOCIATION STANDARDS.
  2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
  3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 150mm DECORATIVE ROCK MULCH WITH WEED BARRIER FABRIC.
  4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
  5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
  6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.
  7. HYDROSEEDING NATURALIZED PLANTING AREAS:  

DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES	WILDFLOWER SEED MIXTURE	BY WEIGHT
BLUE BUNCH WHEAT GRASS	41%	23%	SILKY LUPINE	30%
ROUGH FESCUE	25%	20%	BALSAM ROOT	30%
IDAHO FESCUE	15%	19%	BROWN EYED SUSAN	35%
PERENNIAL RYEGRASS	10%	7%	COMMON YARROW	5%
SANDBERG BLUEGRASS	5%	13%		
JUNE GRASS	4%	18%		

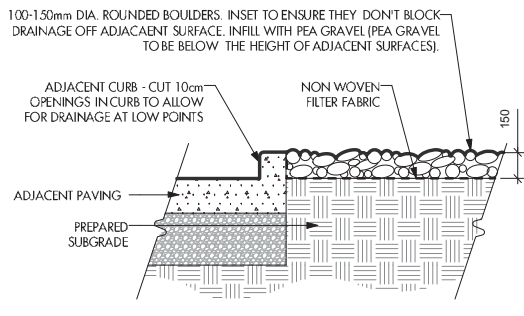
  
HYDROSEEDING APPLICATION RATE (DRYLAND SEED AREA)  
NATIVE SEED: DRYLAND SEED MIXTURE 125KG/HECTARE  
WILDFLOWER SEED MIXTURE 1KG/HECTARE  
FERTILIZER: 18-18-18-2, 50% SULPHUR COATED UREA 300KG/HECTARE  
MULCH: CANFOR ECOFIBRE PLUS TAC 2,800KG/HECTARE  
TACKIFIER: GUAR 3% OF MIX
- THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

LAYOUT LEGEND

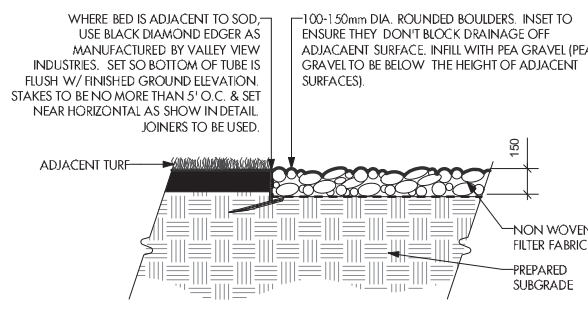
- DECIDUOUS TREE (REFER PLANTING PLAN)
- CONIFEROUS TREE (REFER PLANTING PLAN)
- CONCRETE PAVING
- TURF FROM SOD
- PLANTING AREA W/ DECORATIVE ROCK MULCH & WEED BARRIER FABRIC
- UNDISTURBED BLUFFS AREA



1 Turf from Sod - Section  
1:25

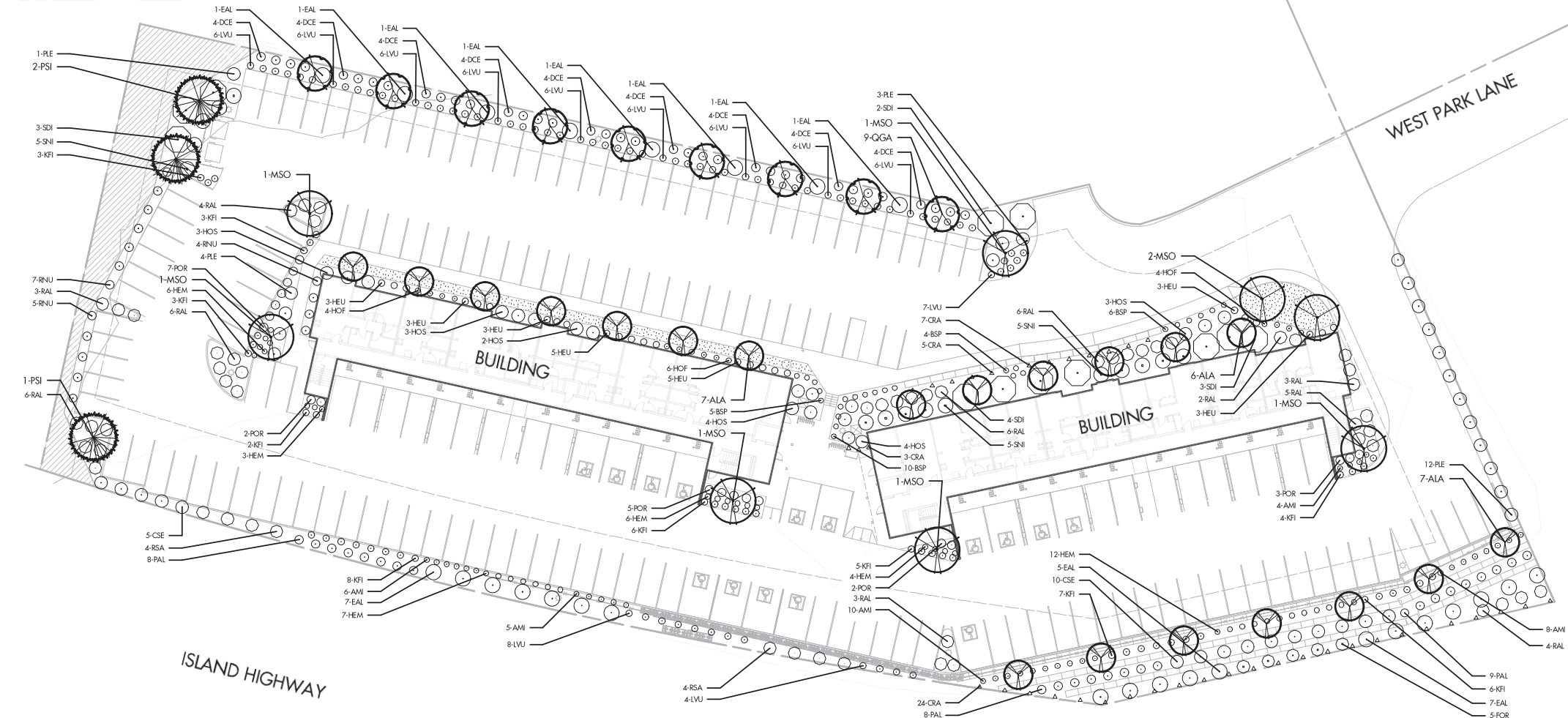
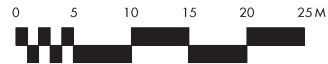


2 Planting Area with Decorative Rock Mulch - Section  
1:20



3 Clean Out - Section  
1:25

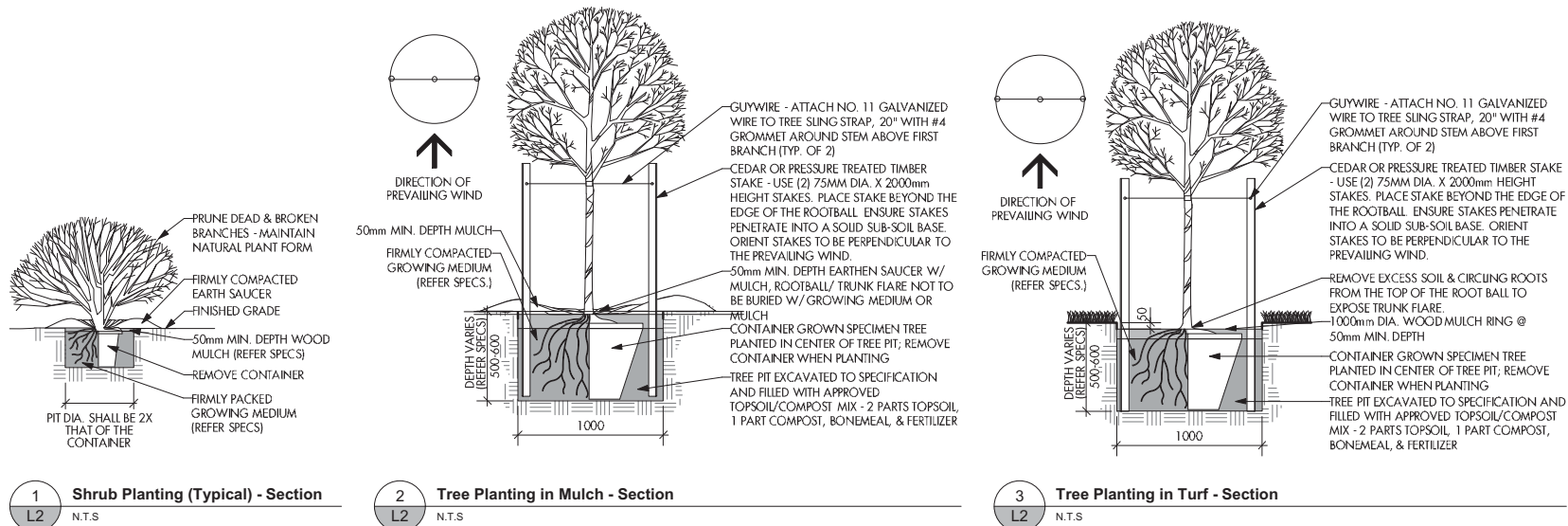




THETIS LAKE APARTMENTS  
1938 WEST PARK LANE

View Royal, BC

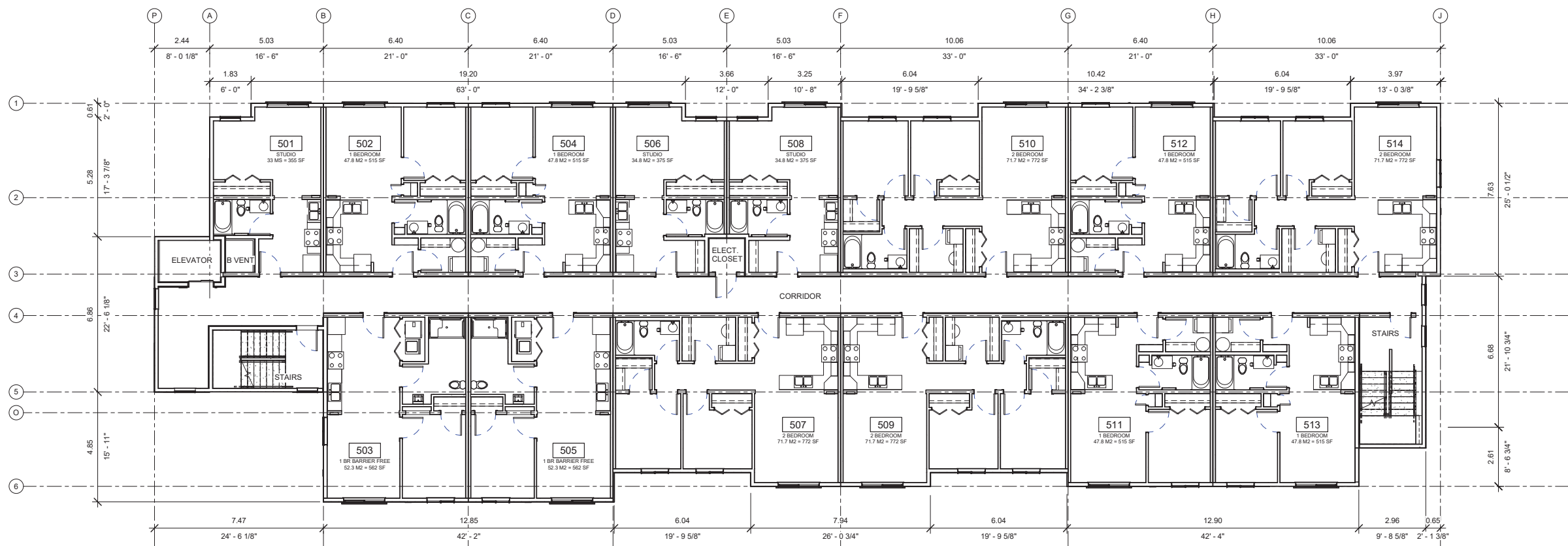
PLANTING PLAN



PLANT LIST				
KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
TREES				
ALA	AMELANCHIER LAEVIS 'SPRING FLURRY'	SPRING FLURRY SERVICEBERRY	20	6cm CAL.
MSO	MAGNOLIA X 'SOULANGEANA'	SAUCER MAGNOLIA	8	6cm CAL.
PSI	PICEA SITCHENSIS	SITKA SPRUCE	3	6cm CAL.
QGA	QUERCUS GARRYANA	GARRY OAK	9	6cm CAL.
SHRUBS, PERENNIALS & GRASSES				
AMI	ACHILLEA MILEFOLIUM 'SUMMER PASTELS'	SUMMER PASTELS YARROW	33	#01 CONT. / 0.6M O.C. SPACING
BSP	BIECHNUM SPICANT	DEER FERN	25	#01 CONT. / 0.6M O.C. SPACING
CRA	CAMPIS RADICANS	TRUMPET VINE	39	#01 CONT. / 0.6M O.C. SPACING
CSE	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	15	#01 CONT. / 1.5M O.C. SPACING
DCE	DESCHAMPSIA CESITOSA	TUFTED HAIR GRASS	36	#01 CONT. / 1.0M O.C. SPACING
EAL	EUONYMUS ALATUS 'COMPACTA'	DWARF BURNING BUSH	27	#01 CONT. / 2.0M O.C. SPACING
FOR	FORSYTHIA 'NORTHERN GOLD'	NORTHERN GOLD FORSYTHIA	5	#01 CONT. / 2.0M O.C. SPACING
HEM	HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	38	#01 CONT. / 0.6M O.C. SPACING
HEU	HEUCHERA 'FROSTED VIOLET'	FROSTED VIOLET CORAL BELL	25	#01 CONT. / 0.75M O.C. SPACING
HOF	HOSTA 'FRANCEE'	FRANCEE HOSTA	14	#01 CONT. / 0.6M O.C. SPACING
HOS	HOSTA 'NORTHERN EXPOSURE'	NORTHERN EXPOSURE HOSTA	19	#01 CONT. / 1.5M O.C. SPACING
KFI	KNIPHOFIA 'FIRE DANCE'	FIRE DANCE RED HOT POKER	47	#01 CONT. / 0.75M O.C. SPACING
LVU	LEUCANTHEMUM VULGARE	OXEYE DAISY	73	#01 CONT. / 0.75M O.C. SPACING
PAL	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	25	#01 CONT. / 1.0M O.C. SPACING
POR	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	19	#01 CONT. / 1.0M O.C. SPACING
PLE	PHILADELPHUS LEWISII 'BUZZARD'	WATERTON MOCKORANGE	20	#01 CONT. / 1.5M O.C. SPACING
RAL	RHODODENDRON ALBIFLORUM	WHITE RHODODENDRON	48	#01 CONT. / 1.5M O.C. SPACING
RSA	RIBES SANGUINEUM	RED-FLOWERING CURRANT	8	#01 CONT. / 1.5M O.C. SPACING
RNU	ROSA 'NUTKANA'	NOOTKA ROSE	16	#01 CONT. / 1.0M O.C. SPACING
SDI	SAUX DISCOLOR	GLAUCUS WILLOW	12	#01 CONT. / 3.0M O.C. SPACING
SNI	SAMBUCUS NIGRA 'EVA'	BLACK LACE ELDERBERRY	15	#01 CONT. / 1.75M O.C. SPACING



L2/2



**Second Floor Plan Details:**

- Units and Room Counts:**
  - 401: STUDIO, 33 M<sup>2</sup> = 355 SF
  - 402: 1 BEDROOM, 47.8 M<sup>2</sup> = 515 SF
  - 403: 1 BR BARRIER FREE, 52.3 M<sup>2</sup> = 562 SF
  - 404: 1 BEDROOM, 47.8 M<sup>2</sup> = 515 SF
  - 405: 1 BR BARRIER FREE, 52.3 M<sup>2</sup> = 562 SF
  - 406: STUDIO, 34.8 M<sup>2</sup> = 375 SF
  - 407: 2 BEDROOM, 71.7 M<sup>2</sup> = 772 SF
  - 408: STUDIO, 34.8 M<sup>2</sup> = 375 SF
  - 409: 2 BEDROOM, 71.7 M<sup>2</sup> = 772 SF
  - 410: 2 BEDROOM, 71.7 M<sup>2</sup> = 772 SF
  - 411: 1 BEDROOM, 47.8 M<sup>2</sup> = 515 SF
  - 412: STUDIO, 47.8 M<sup>2</sup> = 515 SF
  - 413: 1 BEDROOM, 47.8 M<sup>2</sup> = 515 SF
  - 414: 2 BEDROOM, 71.7 M<sup>2</sup> = 772 SF
- Common Areas:**
  - ELEVATOR
  - STAIRS (multiple locations)
  - CORRIDOR
  - ELECT. CLOSET
  - B VENT
- Dimensions:**
  - Overall Building Dimensions: 24' - 6 1/8" (width) x 25' - 0 1/2" (depth)
  - Unit Dimensions: Vary by unit type, ranging from 19' - 9 5/8" to 34' - 2 3/8" in width and 11' - 11" to 22' - 6 1/8" in depth.

FLOOR AREA :  
9,546 SQ FT = 887m<sup>2</sup>

RE ISSUED FOR DEVELOPMENT PERMIT

PROJECT STATUS: RE ISSUED FOR DEVELOPMENT PERMIT		
Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR DEV PERMIT	02/22/2019
C	RE ISSUED FOR DEV PERMIT	04/12/2019
<b>SEAL:</b> <b>ABELE ARCHITECTURE</b> <small>THOMAS C. ABELE, ARCHITECT AIBC, T. 604.682.6818</small>		
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PROJECT NAME: <b>THETIS LAKE APARTMENTS</b>		
PROJECT NUMBER: -		
ADDRESS:  1938 WEST PARK LANE VIEW ROYAL, BC		
DRAWING TITLE:  BUILDING A FOURTH FLOOR & FIFTH FLOOR PLAN		
DRAWN BY:           PG		
CHECKED BY:       KDM		
DATE:               04/12/2019		
SCALE:              1 : 100		
DRAWING #:		REV #:
<u><b>A2.6</b></u>		



SITE MAP:  
A

PROJECT STATUS:  
RE ISSUED FOR DEVELOPMENT  
PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR DEV PERMIT	02/22/2019
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PROJECT NUMBER:  
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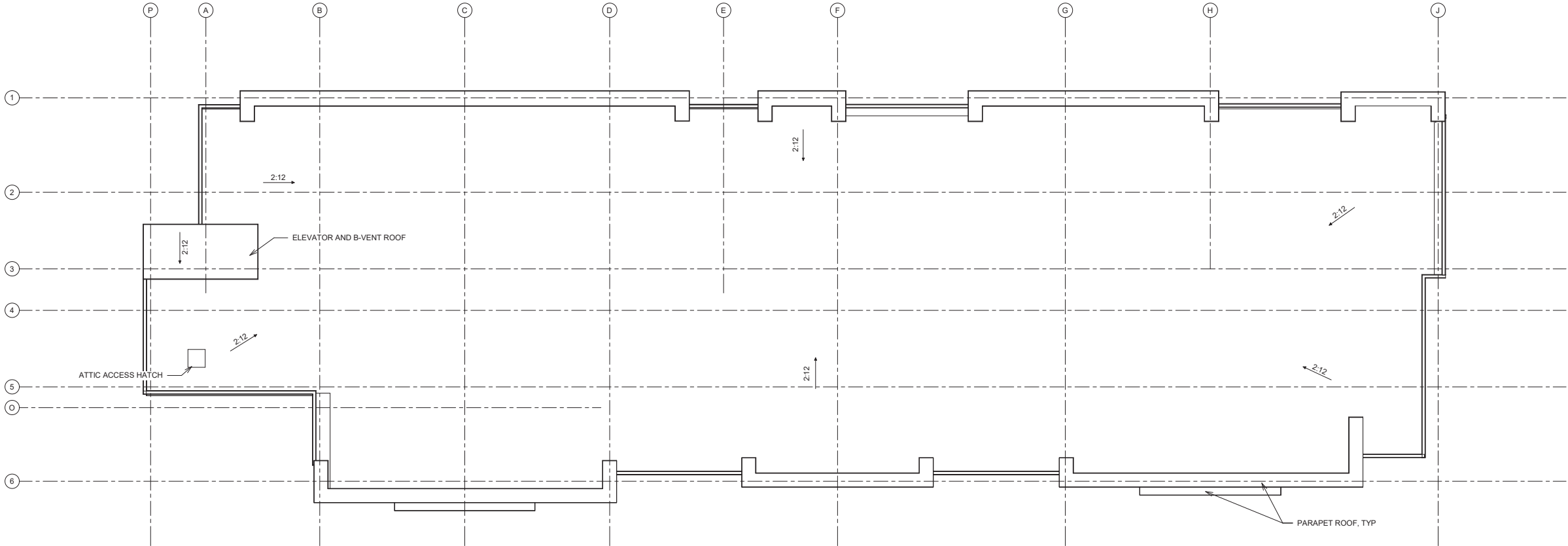
ADDRESS:  
1938 WEST PARK LANE  
VIEW ROYAL, BC

DRAWING TITLE:  
BUILDING A SIXTH FLOOR & ROOF  
PLAN

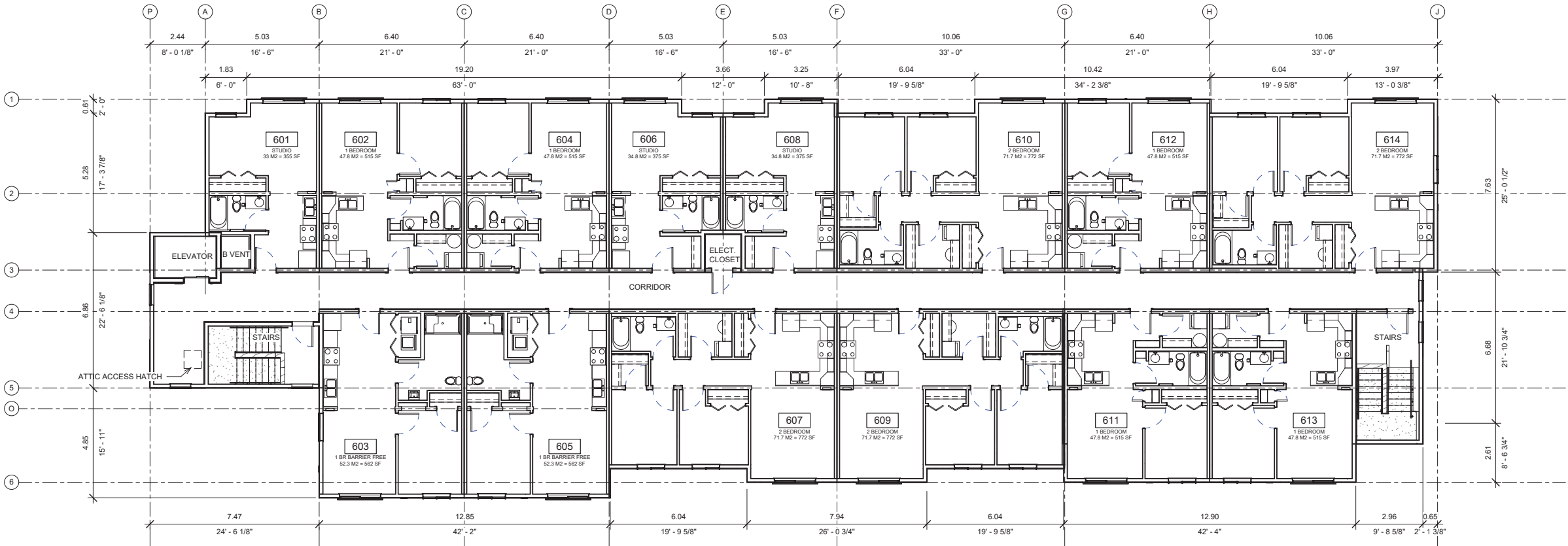
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DRAWING #:	REV #:

**A2.7**

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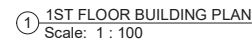
2 ROOF  
Scale: 1 : 100



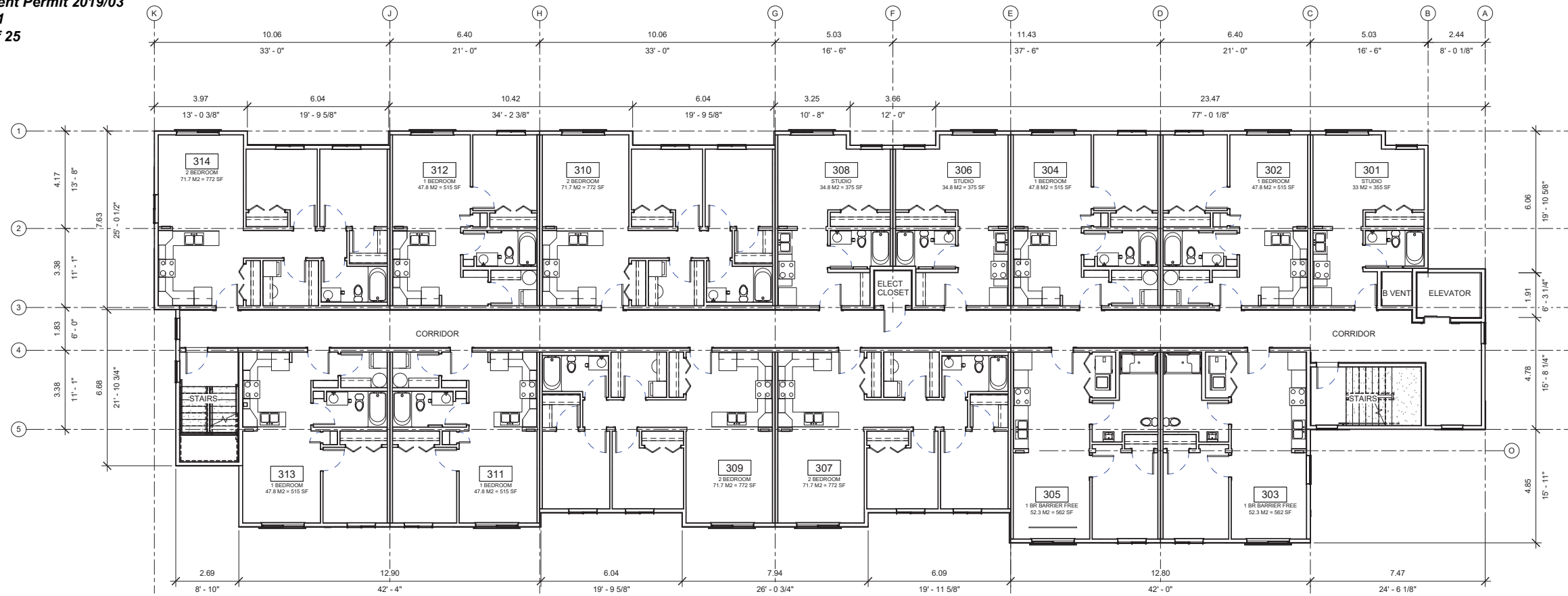
1 Floor Plan - T/O 6TH FLOOR JOISTS  
Scale: 1 : 100

FLOOR AREA :  
9,546 SQ FT = 887m<sup>2</sup>

RE ISSUED FOR DEVELOPMENT PERMIT







**FLOOR 1**

**Units and Dimensions:**

- 214: 2 BEDROOM, 71.7 M<sup>2</sup> = 772 SF
- 212: 1 BEDROOM, 47.8 M<sup>2</sup> = 515 SF
- 210: 2 BEDROOM, 71.7 M<sup>2</sup> = 772 SF
- 208: STUDIO, 34.8 M<sup>2</sup> = 375 SF
- 206: STUDIO, 34.8 M<sup>2</sup> = 375 SF
- 204: 1 BEDROOM, 47.8 M<sup>2</sup> = 515 SF
- 202: 1 BEDROOM, 47.8 M<sup>2</sup> = 515 SF
- 201: OFFICE/LAUNDRY, 33 M<sup>2</sup> = 355 SF
- 213: 1 BEDROOM, 47.8 M<sup>2</sup> = 515 SF
- 211: 1 BEDROOM, 47.8 M<sup>2</sup> = 515 SF
- 209: 2 BEDROOM, 71.7 M<sup>2</sup> = 772 SF
- 207: 2 BEDROOM, 71.7 M<sup>2</sup> = 772 SF
- 205: 1 BR BARRIER FREE, 52.3 M<sup>2</sup> = 562 SF
- 203: 1 BR BARRIER FREE, 52.3 M<sup>2</sup> = 562 SF

**Common Areas:**

- CORRIDOR
- STAIRS
- LAUNDRY
- OFFICE
- ELEVATOR
- ELECT CLOSET

**Dimensions (Feet - Inches):**

- Overall Width: 8' - 10" to 24' - 6 1/8"
- Overall Depth: 15' - 11" to 19' - 10 5/8"
- Unit Widths: 13' - 0 3/8" to 21' - 0"
- Unit Depths: 11' - 1" to 13' - 8"

FLOOR AREA :  
9,546 SQ FT = 887m<sup>2</sup>

RE ISSUED FOR DEVELOPMENT PERMIT



PROJECT STATUS:  
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PERMIT

[illegible]

SEAL: **ABELE ARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT AIBC, T: 604.682.6818

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THETIS LAKE APARTMENTS


PROJECT NUMBER:

ADDRESS:  
1938 WEST PARK LANE  
VIEW ROYAL, BC

DRAWING TITLE:

BUILDING B FOURTH FLOOR &  
FIFTH PLAN

DRAWN BY:	PG
CHECKED BY:	KDM
DATE:	04/12/2019
SCALE:	1 : 100
DRAWING #:	REV #:

<u>A2.12</u>	
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RE ISSUED FOR DEVELOPMENT PERMIT



[illegible]

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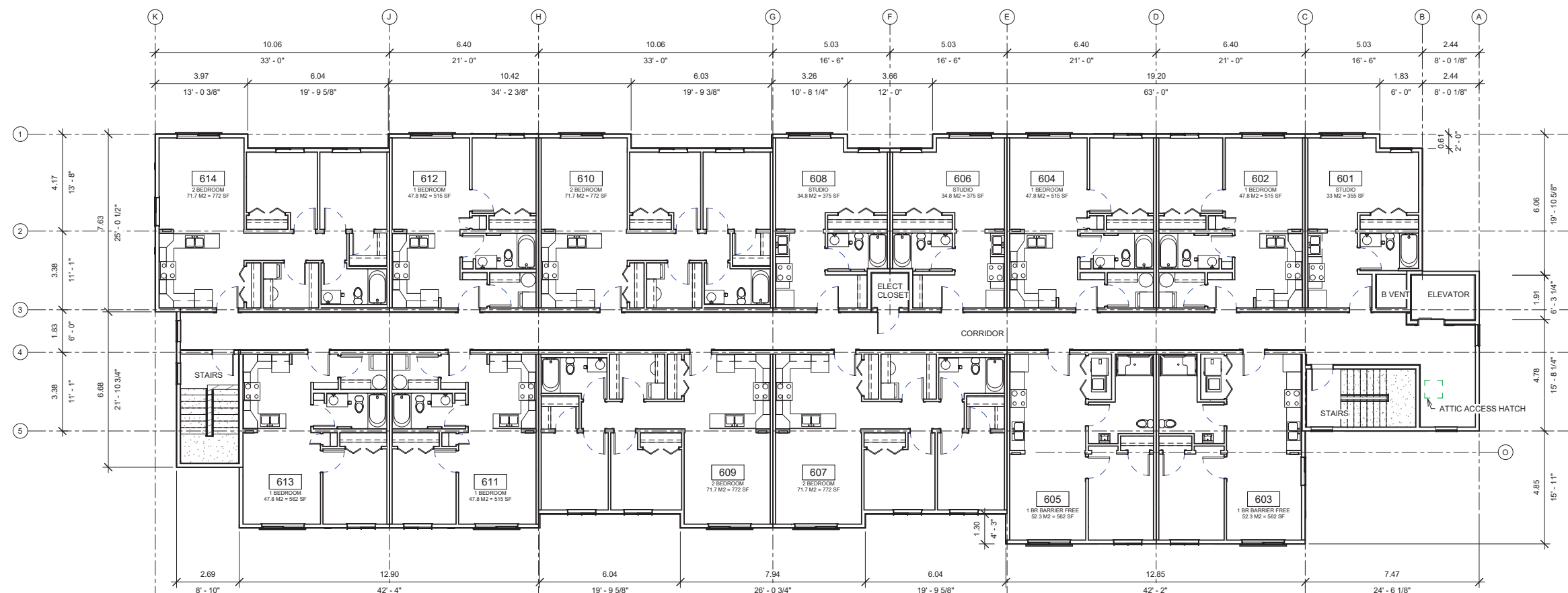
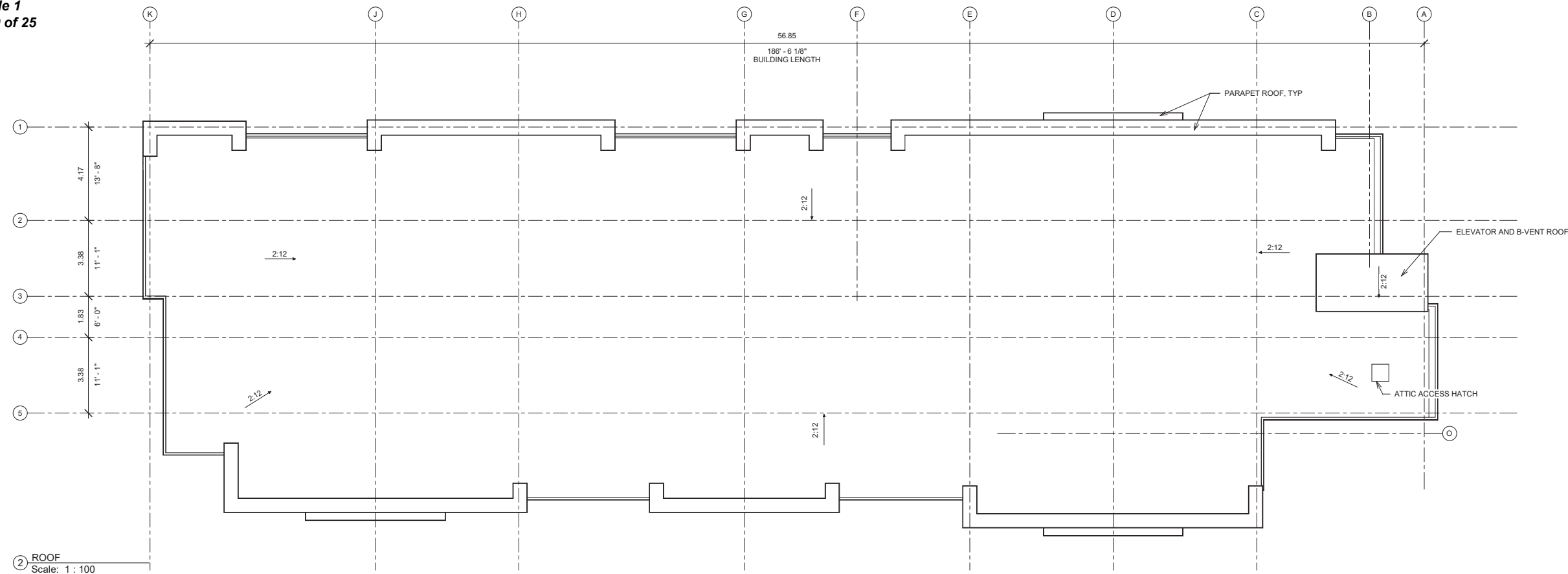
ADDRESS:  
1938 WEST PARK LANE  
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BUILDING B SIXTH FLOOR & ROOF  
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DRAWN BY:	PG
CHECKED BY:	KDM
DATE:	04/12/2019
SCALE:	1 : 100
DRAWING #:	REV #:

REV #:	
	C



① Floor Plan - T/O 6TH FLOOR JOISTS  
Scale: 1 : 100

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A2.13

SITE MAP:  
A

PROJECT STATUS:  
RE ISSUED FOR DEVELOPMENT  
PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR DEV PERMIT	02/22/2019
C	RE ISSUED FOR DEV PERMIT	04/12/2019
	REVISED SIDING FLOORS 5 & 6 BY MAIN ENTRIES	05/03/2019

SEAL: ABELE ARCHITECTURE  
THOMAS C. ABELE ARCHITECT AIBC, T. 004 682 8919



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PROJECT NAME:  
THETIS LAKE APARTMENTS

PROJECT NUMBER:  
-

ADDRESS:  
1938 WEST PARK LANE  
VIEW ROYAL, BC

DRAWING TITLE:  
BUILDING A ELEVATIONS

DRAWN BY: PG  
CHECKED BY: RF  
DATE: 04/12/2019  
SCALE: As indicated  
DRAWING #: REV #:

A3.1  
C



1 SOUTH ELEVATION  
Scale: 1 : 100



3 WEST-PLAZA ELEVATION  
Scale: 1 : 100

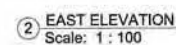
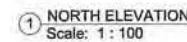
EXTERIOR CLADDING PRODUCT			
C#	DESCRIPTION	COLOR	LOCATION
C1	4" CEMENT BOARD TRIM	IRON GRAY	WINDOW & DOOR TRIM
C2	12" CEMENT BOARD TRIM	IRON GRAY	HORIZONTAL BELLY BAND
C3	12" CEMENT BOARD TRIM	IRON GRAY	VERTICAL PARTITION
C4	PLANK - CEDARMIL	BOOTHBAY BLUE	LEVEL 1 - 8 AS NOTED
C5	PLANK - CEDARMIL	CEDAR STAIN	LEVEL 1 - 2 AS NOTED
C6	PANEL - SMOOTH	COBBLESTONE	LEVEL 1 - 6 AS NOTED
C7	PANEL - SMOOTH	MONTEREY TAUPE	LEVEL 1 - 6 AS NOTED

EXTERIOR ROOFING PRODUCT		
R#	DESCRIPTION	COLOR
R1	2 PLY SBS MEMBRANE	GRAY
R2	ATTIC STATIC VENT	-

EXTERIOR METAL PRODUCT			
M#	DESCRIPTION	COLOR	LOCATION
M1	ALUMINUM RAILING - WELDED SYSTEM	BLACK	SLIDING DOORS
M2	ALUMINUM FASCIA 10"	BLACK	MAIN ROOF
M3	ALUMINUM FASCIA 6"	BLACK	PARAPET ROOF
M4	4 PANEL CLASSIC SOFFIT	LINEN	-
M5	WALL FLASHING	CHARCOAL	-
M6	SHINGLE STEP FLASHING	CHARCOAL	-
M7	ROOF EDGE FLASHING	CHARCOAL	-
M8	EASY TRIM SYSTEM	MATCH PANEL	PANEL SYSTEM
M9	EASY TRIM SYSTEM	MATCH PANEL	WINDOW TRIM
M10	DRIP CAP FLASHING	LINEN	-
M11	REVERSE DRIP FLASHING	LINEN	PLANK WINDOW TRIM
M12	PLASTIC VENT	BLACK	-

RE ISSUED FOR DEVELOPMENT PERMIT

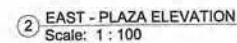
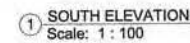




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A triangle with the letter 'C' inside it.



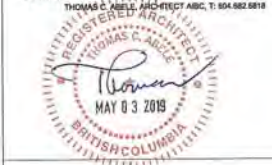
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B

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SEAL: ABLE ARCHITECTURE



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PROJECT NAME:  
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PROJECT NUMBER:

ADDRESS:  
1938 WEST PARK LANE  
VIEW ROYAL, BC

DRAWING TITLE:  
BUILDING B ELEVATIONS

DRAWN BY: PG  
CHECKED BY: KDM  
DATE: 04/12/2019  
SCALE: As indicated  
DRAWING #: A3.4

REV #:

C



1 NORTH ELEVATION  
Scale: 1 : 100



2 WEST ELEVATION  
Scale: 1 : 100

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M12	PLASTIC VENT	BLACK	-

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Margaret Symon, RPF PCP  
Strathcona Forestry Consulting  
PO Box 387 Stn. Mn.  
Duncan BC V9L 3X5  
[strathcona.fc@shaw.ca](mailto:strathcona.fc@shaw.ca)  
250 715-6983 (c/text)

4 April 2019

**To:** Mark Johnson [markhj@shaw.ca](mailto:markhj@shaw.ca)  
Mike Baier [limona@shaw.ca](mailto:limona@shaw.ca)  
Limona Construction Ltd.

**Re: Update to Wildland-Urban Interface Fire Hazard Assessment –  
Thetis Lake Trailer Park and Campground**

In 2017, as part of a rezoning application, Limona Construction Ltd. retained Strathcona Forestry Consulting to conduct an interface fire hazard assessment of Thetis Lake Trailer Park and Campground. The assessment was done in response to a proposed residential development proposal, which included a residential area and large park dedication. The assessment rated the Wildfire Threat and provided strategies to prevent wildfire at the property and surrounding area.

In April 2019, Limona Construction Ltd. advised Strathcona Forestry Consulting of new layout for the Thetis Lake proposal (see site plan pg. 2). It is my understanding that all buildings will be a minimum of 10 m away from the property lines. The buildings along the highway will be six-storey and hardy plant exterior.

In my professional opinion, the new layout will not affect the recommendations made in my 2017 fire hazard report.

Yours sincerely,

*Margaret Symon*

Margaret Symon RPF PCP





Revised Thetis Lake Proposal (Limona Construction Ltd.)

## Limitations

*This report provides an assessment of WUI hazard and risk. Evaluation is based on professional judgment. The investigation involved a field observation. Recommended treatment pertains only to the particular site as disclosed at the time of inspection. The report was prepared considering site-specific circumstances and conditions. It is intended only for use by the client for the purpose for which it was commissioned and for use by local government regulating the activities to which it pertains.*







































## Appendix 2. Generic Fuel Types (adopted from CFFDRS).

Fuel Type	Description	Wildfire Behaviour Under High Wildfire Danger
<b>Coniferous:</b>		
C1	Terrestrial herbaceous ecosystem: mossy rock outcroppings	High potential for surface fire, especially if high moss/lichen
C2	Dense regeneration to pole-sapling (immature) forest with crowns almost to ground	High potential for crown fires; low to very high fire intensity and rate of spread
C3	Fully stocked, mature forest, crowns separated from ground; sparse understorey	Surface and crown fire, low to very high fire intensity and rate of spread
C4	Dense, pole-sapling (immature) forest, heavy standing dead and down, dead woody fuel; continuous needle litter; continuous vertical crown fuel continuity	High potential for crown fires, high to very high fire intensity and rate of spread
C5	Moderately well-stocked, mature forest, moderate dense understorey crowns well separated from ground; continuous needle litter	Low to moderately fast-spreading, low to moderate intensity surface fire
C6	Fully stocked conifer plantation; absent understorey; tree crowns separated from ground; continuous needle litter	Surface fire may spread rapidly to become high intensity fire with high rate of spread
C7	Open, mature coniferous stand; uneven-aged; discontinuous understorey; tree crowns mostly separated from ground	Surface, torching, rarely crowning (except on steeper slopes), moderate to high intensity and rate of spread
<b>D (Deciduous)</b>	Moderately well-stocked deciduous stands; moderate medium to tall shrubs and herb layers D-1 Leafless D-2 In leaf	Typically a surface fire; low to moderate rate of spread and fire intensity  Surface, torching and crowning; moderate to very high intensity and spread rate (varies with slope and % vegetation cover)
<b>M (Mixed Forest)</b>	Moderately well-stocked mixed stand of conifers and deciduous tree species; moderate shrub understorey; conifer crowns extend nearly to ground M-1 Leafless M-2 In Leaf	Fine fuel % and cedar foliage retention will result in faster ignition and spread
<b>S (Slash)</b>	Slash from logging and land clearing	Rapid spreading, moderate to high intensity surface fire
<b>01-Long</b>	Continuous standing grass – fuel loading is 0.3 kg/m <sup>2</sup> ; scattered trees 01-a Matted 01-b Tall	The taller, and more cured the grass, the more rapid spread; low to moderate intensity surface fire
<b>01-Short</b>	Continuous human modified short grass	Typically low rate and spread and low fire intensity.



### Appendix 3. Photos



Thetis Lake Campground. View looking northwest upslope from lower office area.





Eastern boundary of subject property abuts a top-of-slope above the access road to Thetis Lake Regional Park.





Northwest boundary of Thetis Lake Campground and Trailer Park abuts woodland forest cover. Fuel reduction is recommended along this boundary.





Western boundary of subject property abuts steeper slopes with mossy rock outcroppings at Thetis Lake Regional Park. Fuel reduction is recommended along this boundary.

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